



# St. James Parish Government

P. O. Box 106  
Convent, Louisiana 70723-0106  
(225) 562-2260  
FAX (225) 562-2279  
TDD: (225) 562-8500

**Timothy P. Roussel**  
Parish President

**Michelle N. Octave**  
Chief Administrative Officer

To: Planning Commission Members

Date: February 18, 2019

Re: Meeting Notice

The St. James Parish Planning Commission will hold its regularly scheduled meeting on **Monday, February 25, 2019 at 6:00 p.m.**, at the Convent Courthouse, Convent, LA. Enclosed for your review are minutes of the previous regular meeting, and a copy of the tentative agenda.

If you have any questions, please feel free to contact the Planning & Permitting Office at (225) 562-2264.

Sincerely

*Marrill McKarry*

Marrill McKarry  
Planning & Permitting Supervisor  
St. James Parish Government

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Attachments

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**Blaise J. Gravois**  
Director of  
Operations

**Chantal T. Waguespack**  
Director of  
Finance

**Ingrid Leblanc**  
Director of  
Human Resources

**Francis Hymel, Jr.**  
Director of  
Emergency Preparedness

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**AGENDA**  
**ST. JAMES PLANNING COMMISSION MEETING**  
**Monday, February 25, 2019 - 6:00 p.m.**

**I. ROLL CALL**

**II. MINUTES OF PREVIOUS MEETINGS**

1. January 28, 2019 Minutes

**III. CORRESPONDENCE**

1. None

**IV. PRESENTATION AND PUBLIC COMMENTS**

1. Presentation - None
2. Public Comments - (on agenda items)

**V. RESUBDIVISION OF PLOT – OLD BUSINESS**

1. Plot #: None

**PC:**

**VI. RESUBDIVISION OF PLOT – NEW BUSINESS**

1. Plot #: 19-02

**PC: 02-25-19**

**Plot Name:** *Lloyd J. Leblanc, Jr. Resub.*

**Request:** *preliminary approval of Lot C-3 and C-4 of Bellevue Plantation into a lot herein designated as lots C-3-A and C-4-A of Bellevue Plantation.*

**Location:** Paulina, LA

**Section-Township-Range:** Section 70, T-11-S, R-5-E

**Elevation:**

**Proposed Land Use:** Commercial Residential Mixed

**Number of Lots:** 3

**Lot Size:** *C-3-A (12.43 Acres) and C-4-A (3.00 Acres)*

**Land Use Designation:** Commercial Residential Mixed

**Status:** *Pending the Letter of No Objection from LaDHH and the Deliverance of CAD File*

**Owner/Development:** *Lloyd J. Leblanc, Jr.*

2. Plot #: 19-03

**PC: 02-25-19**

**Plot Name:** *Paul & Rita Aucoin Resub.*

**Request:** *preliminary approval of Lot B into a lot herein designated as lots B-1 and B-2 of Paul and Rita Aucoin Tract.*

**Location:** Vacherie, LA

**Section-Township-Range:** Section 13, T-13-S, R-17-E

**Elevation:** 3.8 to 5.6

**Proposed Land Use:** Residential Growth

**Number of Lots:** 2

**Lot Size:** *B-1 (20.60 Acres) and B-2 (20.56 Acres)*

**Land Use Designation:** Residential Growth

**Status:** *Pending the Letter of No Objection from LaDHH and the Deliverance of CAD File*

**Owner/Development:** *Buddy Aucoin*

**3. Item #: 19-04**

**PC: 02-25-19**

**Plot Name:** Zen Noh Grain

**Request:** *Requesting a variance to the elevation requirement under the Parish Ordinance Section 50-69 in order to renovate an existing enclosed structure that is functionally dependent on the Mississippi River, located on the batture side of the levee which is in Flood Zone A*

**Location:** Convent, LA

**4. Plot #: 19-05**

**PC: 02-25-19**

**Plot Name:** Mitchell Tract Resub.

**Request:** (1) Requesting a variance from Residential Growth to Industrial Land Use

(2) Requesting preliminary approval of Lot C of Mitchell Tract into a lot herein designated as lots C-1 and C-2 of Mitchell Tract.

(3) Requesting a variance to accept the existing 40-foot access servitude per ordinance, Section 106-281

**Location:** St. James, LA

**Section-Township-Range:** Section 21, T-12-S, R-16-E

**Elevation:** 8.2' to 20.1'

**Proposed Land Use:** Industrial

**Number of Lots:** 2

**Lot Size:** C-1 (29.207 acres) and C-2 (0.230 Acres)

**Land Use Designation:** Residential Growth

**Status:** Pending the Letter of No Objection from LaDHH and the Deliverance of CAD File

**Owner/Development:** South Louisiana Methanol, LP

**VII. LAND USE- OLD BUSINESS**

**1. Item #: 18-41**

**PC: 11-28-2018**

**Item names:** Syngas Energy Holding, LLC

**Request:** *Requesting approval to build a methanol plant in St. James Parish, Louisiana, located on a site between Hwy 3127 on the south, Neustar property on the north and Burton on the east. The capacity of the plant will be 572,940 short tons per year at 100% availability. Under Section 86-37(f), the Planning Commission has decision-making authority over the proposed facility.*

**Location:** St. James, Louisiana

**Section-Township-Range:** S-62, T-12-S, Range 15-E

**Elevation:** 6.0' to 10.0'

**Proposed Land Use:** Industrial

**Lot Size:** 55 acres

**Land Use Designation:** Industrial Use

**Status:** Pending Letter of No Objection from LaDHH and the Deliverance of CAD File

**Developer:** Syngas Energy Holding, LLC

**2. Item #: 18-46**

**PC: 01-28-2019**

**Item:** Wanhua Chemical US Operations, LLC

*Public Hearing, Section 86-37*

*The following public hearing will be held to accept comments on the application by Wanhua Chemical US Operations, LLC to build a grass root polyurethane facility and will be built in two phases located in Convent, Louisiana. Phase one will be the MDI and phase two will be TBD. The facility is located in a conformity area for industrial use on the parish's East Bank, close to the Occidental Chemical facility. The facility will produce methylene diphenyl diisocyanate (MDI) and ethylene dichloride (EDC). MDI is a building block for polyurethanes, that will be found in numerous forms ranging from lightweight, rigid foams to dense, solid compositions and from soft, flexible foams to tough, elastomeric moldings. Requests to set for public hearing at future dates.*

**VIII. LAND USE- NEW BUSINESS**

**1.Item #: 19-01**

**PC: 02-25-2019**

**Item Name:** *Burl's Livery Service, LLC*

**Request:** *requesting a variance in a Non-Conforming Use area of the Property located at 3762 LA Highway 44, Paulina, LA 70763, that is currently in a Residential Growth Land use, changed to Commercial Land use for the purpose of opening up a Satellite Funeral Home Chapel.*

**Location:** *Paulina, Louisiana*

**Section-Township-Range:** *Section 12,13,14,15, and 16, T11S-R4E*

**Proposed Land Use:** *Commercial*

**Number of Lots:** *1*

**Lot Size:** *20,839.4 sq. ft*

**Land Use Designation:** *Residential*

**Status:** *Pending the Letter of No Objection from LaDHH*

**Owner/Development:** *Albert A. Burl, III*

**VIII. ADJOURNMENT**

**PROCEEDINGS OF THE PLANNING COMMISSION, PARISH OF ST. JAMES, STATE OF LOUISIANA, TAKEN AT A REGULAR MEETING ON JANUARY 28, 2019**

The Planning Commission of the Parish of St. James, State of Louisiana, met in regular session at the Courthouse in Convent, Louisiana on Monday, January 28, 2019 at 6:00 p.m.

**PRESENT:** Glen Millet, Dean Millet, Wilson Malbrough, Arthur Matherne, Ralph Becnel, Mike Krumholt, and Johnny Lawrence

**ABSENT:** Jon Hotard, Anthony Boudreaux and Sue Beier

**OTHERS IN ATTENDANCE:** Blaise Gravois, Marrill McKarry, and Eric Wolverton

**MINUTES**

Motioned by Matherne and seconded by Becnel to approve the minutes of the December 27, 2018 regular meeting, all in favor. Motion carried.

**CORRESPONDENCE**

1. None

**PRESENTATION AND PUBLIC COMMENTS**

1. Presentation – None
2. Public Comments–None

**RESUBDIVISION OF PLOT - OLD BUSINESS**

1. **Wanhua Resub division (Item # 18-45)**– Represented by Jim Newport. Requesting final approval for resubdivision of 53.151 acre portion of Occidental Parcel, A 75.243 acre portion of +/-147 acre Occidental Parcel, and 34.714 acre and 84.437 acre portion of A +/-492 acre Occidental portion into parcel W located in Convent, Louisiana on highway 3214. Letter of No Objection from LaDHH was received and CAD file was delivered. Matherne motioned for Roll call vote and second by Malbrough. Roll Call vote: 6- for, 1- against, 2- absent. Motion carried.

**RESUBDIVISION OF PLOT - NEW BUSINESS**

1. None

**LAND USE- OLD BUSINESS**

1. **FG LA, LLC (Item # 18-30)** – St. James Parish Administration and legal counsel, Vic Franckiewicz gave an update of Parish Council Considerations and handed out a copy of draft to planning commissioners on the resolution denying the appeal of Rise St. James and approving the Land Use application under ordinance, with conditions. All Commissioners asked questions. Mr. Franckiewicz answered all questions. No action taken.
2. **Syngas Hearing, Holding, LLC (Item #18-41) Public hearing** – Vas Kenyan gave a presentation on application. Chairman G. Millet open the floor for public comments. No public comments were made. No action taken. Planning Commission will address request for approval on Monday, February 25, 2019 meeting.

**LAND USE- NEW BUSINESS**

1. **Land Use Application-** Parish Administration and legal counsel, Vic Franckiewicz gave recommendations for Land Use application forms to be updated for future Land Use Applications based on information that was giving from the Parish Council Consideration at the January 23, 2019 council meeting.
2. **Wanhua Chemical US Operations, LLC (Item # 18-46)**– Jim Newport gave a presentation of Land Use Application requesting to build a grass root polyurethane facility and will be built in two phases located in Convent, Louisiana. Phase one will be the MDI and phase two will be TBD. The facility is located in a conformity area for industrial use on the parish's East Bank, close to the Occidental Chemical facility. The facility will produce methylene diphenyl diisocyanate (MDI) and ethylene dichloride (EDC). MDI is a building block for polyurethanes, that will be found in numerous forms ranging from lightweight, rigid foams to dense, solid compositions and from soft, flexible foams to tough, elastomeric moldings. Commissioners asked questions. Chairman Glenn Millet open the floor for public comments. No public comments were made. Matherne motioned to send to parish council for two public hearing and was seconded by Malbrough. Roll Call vote: 7- for, 0- against, 2- absent. Motion carried.

**ADJOURNMENT**

Motioned by Lawrence and seconded by Becnel to adjourn. All in favor. Motion carried. Meeting adjourned at 7:30 p.m.

s/ \_\_\_\_\_  
Glen Millet, Chairman

s/ \_\_\_\_\_  
Michael Krumholt, Secretary

Burl's Livery Service

P. O. Box 593

Garyville, LA 70051

(504)415-3254

Planning Commission

Eric Wolverton

Dear Sr, I Albert A. Burl III, am asking that I be placed on the February 25, 2019 Agenda to request a variance in a Non-Conforming Use area of the Property at 3762 LA Highway 44, Paulina, LA 70763, that is currently in a Residential Growth Land use, changed to Commercial Land use for the purpose of opening up a Satellite Funeral Home Chapel.

Before I purchased the Property in September, the Old Evergreen Baptist Church was grandfathered into this area. My goal is not to change the foundation with Major Renovations, but to use the same structure to operate a satellite Funeral Home Chapel, mainly used for Visitations. I currently operate a Funeral Home in Garyville, which would still be my base of operations.

I currently own a piece of property located at M & J COMO in Convent that is Listed as Hobson Brown Funeral Home Lot. I've had plans of opening up the satellite location there, but when this location became available, it serves the purpose of what I had planned.

If you have any questions, please don't hesitate to call me @ (504)415-3254

Thanking You in Advance

Albert A. Burl III

**Burl's Livery Service LLC**

**Business Plan**

**Prepared by**

**Albert A. Burl III**

**Owner**

**Burl's Livery Service**

**3762 LA HIGHWAY 44, Paulina, La 70763**

**(504)415-3254**

**[aliburl@yahoo.com](mailto:aliburl@yahoo.com)**



## Product/Service Plan

### Description of Service

Currently Burl's Livery Service LLC works for St. James Parish Coroner's Office and St. John Parish Coroner's Office. I am on call 24/7 for the pickup and transfer of human remains from their place of death to Jefferson Parish and Orleans Parish Coroner's Offices. I have been registered with the Secretary of State since 2008 and provided these services.

Hobson Brown Funeral Home, once located and still owns Property at Como and 44 in Convent, LA. We also operate a Funeral Home at 134 Daisy St. In Garyville, La, that has been in Operation for well over 60 years. We currently service families throughout the River Parishes and was the First Black Owned Funeral Home in the River Parishes.

### Features and Benefits

With Burl's Livery Service relocating to St James Parish, this would give me the ability to be located in the Parish and pay taxes that I currently work for.

With Hobson Brown Funeral Home opening an Extension of an Existing Funeral Establishment in St James Parish, this would afford me the opportunity to also operate and pay taxes in a Parish that I already do business in. Also, with the current design of the Evergreen Church, it would also offer me to hold Wake/Visitation services for my clients, especially since the Catholic Church doesn't allow wake services anymore.

### Stage of Development

Burl's Livery Service is already operating in St. John Parish.

Hobson Brown Funeral Home is already operating in St. John Parish. Evergreen Church is already designed as a Chapel and would not need major upgrades. With the opening of an Extension of an Existing Funeral Establishment, the only requirements by the State Board of Embalmers and Funeral Directors, would be to have six caskets on site. The use of embalming and other preparation of the remains would still be done at the original location.

#### Suppliers

Burl's Livery Service gets its supplies from Bodybags.com

Hobson Brown Funeral Home gets its caskets from various casket companies in the surrounding areas.

#### Management and Organizational Plan

#### Legal Form of Business

Burl's Livery Service is currently an LLC.

#### Management Team

Albert A. Burl III, is the sole owner of Burl's Livery Service.

#### Marketing Plan

#### Industry Profile

The number of employees consist of one full time person and two part time people.

#### Growth Potential

With the Expansion of the Existing Funeral Home, it would give me an opportunity to provide a centrally located service to the clients in the neighboring towns and offer a facility to offer wake services.

#### Industry Trends

The trend with funerals is starting to shift more towards funeral services and then cremations because the lack of burial space.

#### Conclusion

With the relocation of Burl's Livery Service and addition of an Extension of a Funeral Establishment, this would offer St James Parish a large enough facility to handle wake services for Catholic Families and offer an Alternative for families with no church home. This would also benefit St. James Parish by creating a new tax base and put a currently unoccupied business, back into commerce.

## Financial Plan

### Start-up cost

All the equipment for both businesses, are already purchased and in operation. The Building was purchased in September of Last year and I have been making monthly payments on the mortgage and has completely insured it.

### Sources of Financing

I currently Bank with Louisiana Federal Credit Union and First American Bank. I have accounts that have been open since 2007 and the Building is currently mortgaged through Louisiana Federal Credit Union.



# St James Parish Industrial Land Use

St James Parish Planning & Permitting Office  
P.O. Box 106  
Convent La. 70723  
Office: 225-562-2264 or 225-562-2444

Name of Corporation: Syngas Energy Holdings, LLC

Representative: Vas Kenyen

Mailing Address: 15406 Paladora Drive, Houston, Tx-77083

Representative email address: Vkenyen@jasmmarketing.com

Phone Number: (Office) (281) 879-1844 (Cell) (281) 850-0213 (Fax) (281) 879-1315

## 1. Attach Preliminary Plat

- a. Location of Site LA 3127, St. James, St. James Parish
- b. Section-Township-Range S-62, T-12-S, Range-15-E
- c. Current use of site Industrial
- d. Total acreage of site =/- 135 acres
- e. Acreage of development and elevation 55 acres at 6 feet MSL
- f. Current land use designation by Parish Industrial
- g. Distance between proposed facility and nearest residential properties 8,468 ft

## 2. Facility Description

- a. Description of facility and proposed operations (attach additional sheets if needed)

See Attachment

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- b. Include anticipated future expansions \_\_\_\_\_  
 \_\_\_\_\_ Capacity increase to 600,000 tpy \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- c. Estimated permanent full time employees / part time employees / contract employees  
 \_\_\_\_\_ 78 full time employees \_\_\_\_\_
- d. Estimated contractor employees during construction \_\_\_\_\_ 360 \_\_\_\_\_
- e. Length of construction \_\_\_\_\_ 18-24 months \_\_\_\_\_
- f. Proposed date of construction \_\_\_\_\_ 1<sup>st</sup> quarter 2019 \_\_\_\_\_
- g. Proposed date of operations \_\_\_\_\_ 4<sup>th</sup> quarter of 2021 \_\_\_\_\_

**3. Substances Produced and/or Stored**

- a. List any and all types of substances the proposed facility is projected to produce and/or store. (attach additional sheets if needed)

\_\_\_\_ Methanol, Ammonia, Caustic, Sulfuric Acid, Chlorine, Biocide, Zinc Oxide \_\_\_\_\_  
 \_\_\_\_ Catalyst: Reformer – Katalco 25-4Q/Katalco 23-4Q \_\_\_\_\_  
 \_\_\_\_ HDS – Katalco 41-6T \_\_\_\_\_  
 \_\_\_\_ Purification – Katalco 32-4 \_\_\_\_\_  
 \_\_\_\_ Methanol Synthesis – Katalco 51-8 \_\_\_\_\_  
 \_\_\_\_ SCR – Topsoe \_\_\_\_\_

- b. Attach any pertinent Material Safety Data Sheets (MSDS).  
 c. Include National Fire Protection Association (NFPA) 704 reference.

**4. Is the proposed facility projected to produce and/or store any substances related to the *Emergency Planning and Community Right-to-Know Act (EPCRA)*?**

- a. Facility Type:
- i. EPCRA Facility Type 302            **Yes**
  - ii. EPCRA Facility Type 311/312    **Yes**
  - iii. EPCRA Facility Type 313
  - iv. EPCRA RMP Site                    **Yes**

5. What is the facility's average, most probable worst case scenario for both RMP and non-RMP facilities? \_\_\_\_\_

The facility will use a worst case release as per (OGP Risk Assessment Data Directory, Report No. 434-1, March 2010, Process Release Frequencies) from the Methanol storage tank and an alternate release from the Reformer as required release scenarios. The alternate release will be the ammonia storage tank. The worst case and alternate cases were modeled to determine any potential impact off-site.

6. What is the proposed facility's Emergency Operation Plan for the prevention, preparation, response, mitigation, and recovery for the following:

a. Fire- to include manpower, fire water, cooling water and appropriate fire suppression agent, i.e., foam, dry chemical. \_\_\_\_\_

\_\_\_\_\_ See the attached EOP \_\_\_\_\_

i. Is the facility's water supply designed for twice the water supply needed? A fire water pond will be constructed to have the capacity of 2,700,000 gallons

ii. Does the facility have twice the needed fire suppression agent, i.e., foam, dry chemical? Yes

b. Releases- to include manpower and resources, i.e. water, foam, dry chemical.

c. Spills- to include manpower and resources, i.e. water, foam, dry chemical.

d. Weather events.

e. Air monitoring at the perimeter of the facility (fence line) to assure public safety.

f. Does the proposed facility agree to provide Emergency Response Plan(s) to, at a minimum, respective fire department and Parish Office of Emergency Preparedness for proper public safety planning? Yes

g. The proposed facility projected operating schedule other than normal downtime for routine maintenance? \_\_\_\_\_

7. Will the proposed facility be manned 24/7/365? Yes

a. If not, what procedures are proposed for emergency notifications for the duration of unmanned hours? N/A

8. Does the proposed facility have a Facility Security Plan? Not at this time

**The facility will have a security fence around the property with security guards and cameras at all Times- a formal plan will be developed during construction.**

- a. Does the Facility Security Plan incorporate prevention, preparation, response, mitigation, and recovery from chemical, biological, radiological and inclement weather threats?

\_\_\_\_ The plan will incorporate prevention, preparation, response, mitigation, and recovery from chemical, biological, radiological and inclement weather threats when the final plan is developed for the facility start-up.

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- b. Does the Facility Security Plan incorporate remote sites, i.e., docks, off-site locations, rail service, marine services or pipelines? \_\_\_\_\_

\_\_\_\_ Yes, The security plan incorporates pipelines for natural gas supply, CO2 supply and \_\_\_\_\_  
\_\_\_\_ transport of Methanol to an offsite storage tank. \_\_\_\_\_

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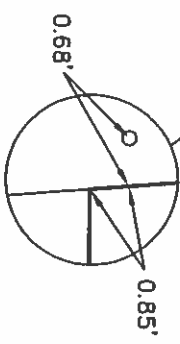
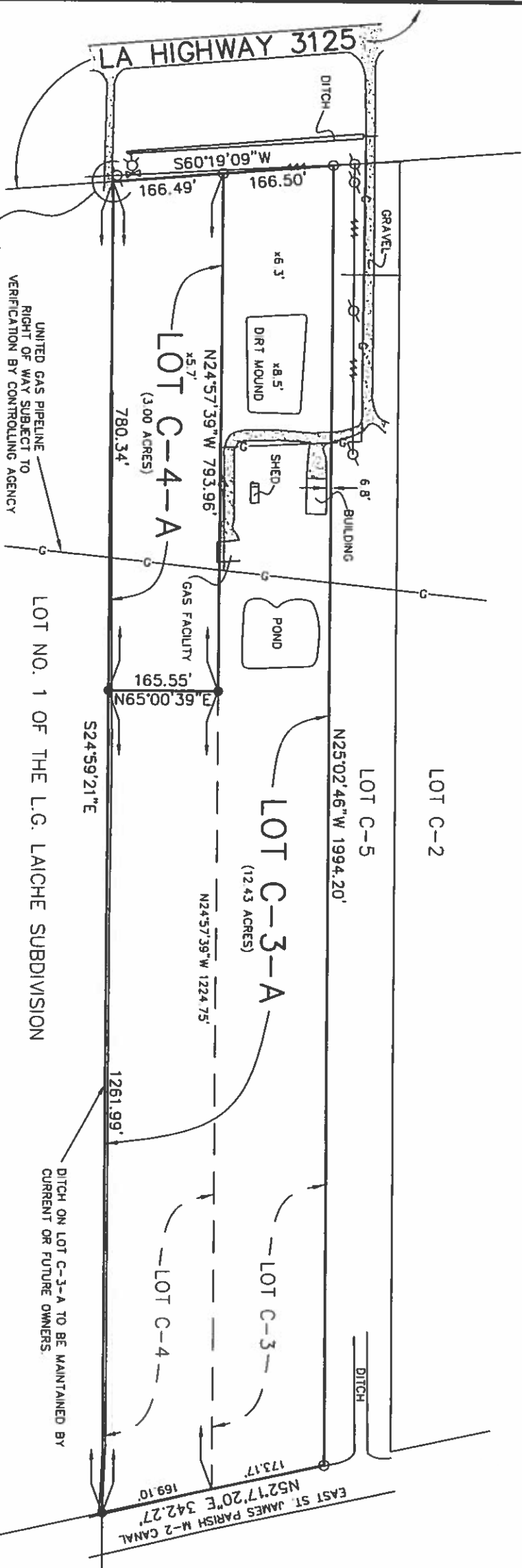
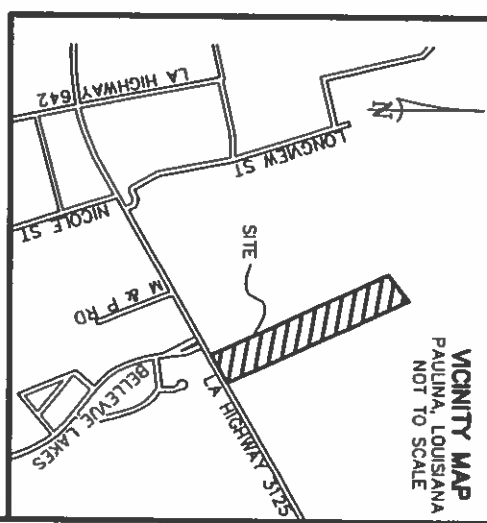
**Please note:** This application, twenty-five (25) copies of supporting documents, one electronic copy, and payment to St. James Parish Government for Planning Commission review shall be presented to the St. James Parish Planning Office at least thirty (30) days prior to a regular meeting of the Planning Commission. Include letters indicating the availability of service and adequate capacities from affected utilities, including water/sewerage, electricity, gas, telephone and cable television. In areas lacking sewerage, letters indicating the alternate disposal method has been approved by the state office of public health. The St. James Parish Planning Commission reserves the right to request additional information.

Additional permits may be required by St. James Parish Permitting Office, Louisiana Department of Health and Hospitals, Louisiana State Fire Marshal and other Federal, State and Local regulating bodies.



**OUTFALL PATH:** DITCH DRAINS NORTH TO EAST ST. JAMES M-2 CANAL AND EAST TO LATERAL 4 CANAL THEN NORTH TO BLIND RIVER.

**VICINITY MAP**  
PAULINA, LOUISIANA  
NOT TO SCALE



**TITLE:** SURVEY PLAT AND RESUBDIVISION OF LOTS C-3 AND C-4 OF BELLEVUE PLANTATION INTO A LOT HERIN DESIGNATED AS LOTS C-3-A AND C-4-A OF BELLEVUE PLANTATION SITUATED IN SECTION 70 T-11-S, R-5-E, PAULINA, ST. JAMES PARISH, LOUISIANA.

**DATE:** JANUARY 22, 2019

**SURVEY REFERENCE:** SURVEY PLAT AND RESUBDIVISION OF A PORTION OF BELLEVUE PLANTATION INTO LOT A, LOT B, LOTS C-1 THRU C-5 BY HAROLD J. FLYNN, P.L.S., DATED AUGUST 15, 1994.

**BASIS OF BEARING:** BEARINGS HEREON ARE REFERENCED TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE 1702, NAD 83, GEOID 12A USING LEICA SMARTNET SOLUTION DATED 1/22/2019.

**FLOOD NOTE:** THE SURVEYED PARCEL IS IN ZONE "X" AND "A" PER FEDERAL INSURANCE RATE MAP NUMBER 22093C-0115C DATED 07/04/2011.

**SURVEYOR'S NOTES:**

- A. THIS PLAT IS CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE DIRECTION OF THE UNDERSIGNED AND COMPLES WITH THE REQUIREMENTS OF LOUISIANA'S STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS B SURVEY.
- B. NO TITLE OPINION WAS PROVIDED TO THIS FIRM, THEREFORE NO CERTIFICATION IS GIVEN TO THE EXISTENCE OF OTHER SERVITUDES OR EASEMENTS WHICH MAY EXIST OTHER THAN THOSE SHOWN.
- C. MINIMUM SETBACK LINES AND SERVITUDES SHOWN ARE BASED ON THE REFERENCED SURVEY PLAT. THE APPROPRIATE PARISH AUTHORITY OR NEIGHBORHOOD REGULATORY BOARD SHOULD BE CONSULTED FOR FINAL DETERMINATION.
- D. ELEVATIONS HEREON DERIVED BY GPS LEICA SMARTNET SOLUTION DATED 1/22/2019 DATUM NAVD88 (GEOID 12A)

DEY SAY STREET (SIDE)

- LEGEND**
- 1/2" IRON ROD SET
  - 3/4" IRON PIPE FOUND
  - FENCE
  - ⊙ POWER POLE
  - POWER LINE
  - ⊕ FIRE HYDRANT
  - ±5.7' ELEVATION



DRAWN BY: CLD DRAWING NO. MM1953

**RIVERLANDS SURVEYING COMPANY**



505 HEMLOCK STREET  
LAPLACE, LA 70068  
1-800-248-6982  
985-652-6356

**DEVELOPER/OWNER:**  
LLOYD J. LEBLANC, JR.  
30050 LA HIGHWAY 3125  
PAULINA, LA, 70763

**APPROVED:**

ST. JAMES PARISH COUNCIL

**PARISH PRESIDENT** \_\_\_\_\_ DATE \_\_\_\_\_

**ST. JAMES PARISH PLANNING COMMISSION** \_\_\_\_\_ DATE \_\_\_\_\_

**CHAIRMAN** \_\_\_\_\_ DATE \_\_\_\_\_

*Stephen P. Flynn*  
STEPHEN P. FLYNN  
P.L.S. LA. ST. REG. NO. 4668



**NOTES:**

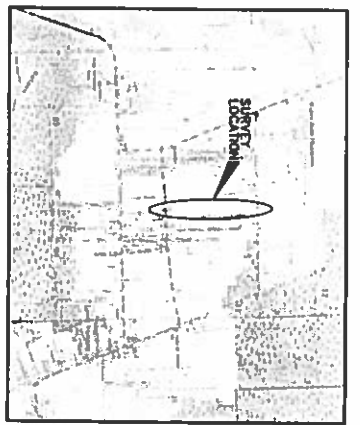
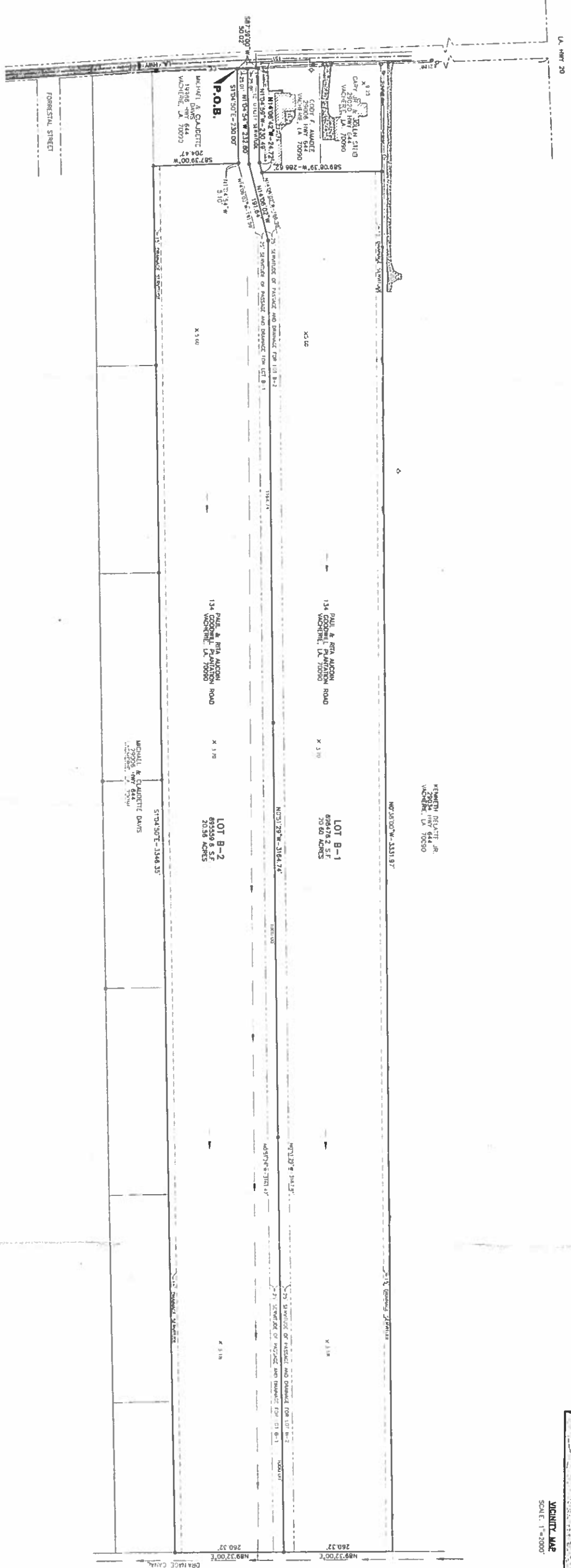
1. REFERENCE MAP AND DISTANCE RECORD, "L" AND "R" LOCATIONS A VENDOR'S RECORD OF THE PROPERTY AND DISTANCE RECORD FOR THE YEAR OF 2019.
2. THE PROPERTY IS LOCATED IN PARISH 13, SECTION 13, T13S-R17E, W09W, COCHONNE PARISH, LOUISIANA.
3. THE PROPERTY IS LOCATED IN PARISH 13, SECTION 13, T13S-R17E, W09W, COCHONNE PARISH, LOUISIANA.
4. DISTANCES SHOWN ARE MEASURED FROM THE CORNER OF THE PROPERTY TO THE CORNER OF THE ADJACENT PROPERTY.
5. THE PROPERTY IS LOCATED IN PARISH 13, SECTION 13, T13S-R17E, W09W, COCHONNE PARISH, LOUISIANA.
6. THE PROPERTY IS LOCATED IN PARISH 13, SECTION 13, T13S-R17E, W09W, COCHONNE PARISH, LOUISIANA.
7. THE PROPERTY IS LOCATED IN PARISH 13, SECTION 13, T13S-R17E, W09W, COCHONNE PARISH, LOUISIANA.
8. THE PROPERTY IS LOCATED IN PARISH 13, SECTION 13, T13S-R17E, W09W, COCHONNE PARISH, LOUISIANA.
9. THE PROPERTY IS LOCATED IN PARISH 13, SECTION 13, T13S-R17E, W09W, COCHONNE PARISH, LOUISIANA.
10. THE PROPERTY IS LOCATED IN PARISH 13, SECTION 13, T13S-R17E, W09W, COCHONNE PARISH, LOUISIANA.

**LEGEND:**

- FOUND 3/4" IRON NAIL
- 3/4" IRON NAIL SET
- ◆ POWER POLY/LUMBER POLE
- ◆ FIRE HYDRANT
- DITCH CONTIGUOUS
- RIGHT OF WAY LINE
- DISTANCE STRIKE
- DISTANCE STRIKE
- SPOT ELEVATIONS
- DISTANCE DIRECTION ARROWS

**DEVELOPER:**

PAUL & RITA ACCON ROAD  
134 COCHONNE PLANTATION ROAD  
COCHONNE, LA 70090  
850-714-1111

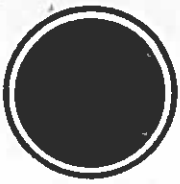


**PRELIMINARY**

**LEONARD CHAVIN P.E., P.L.S., INC.**  
CIVIL ENGINEER - LAND SURVEYOR  
627 JACKSON ST. THIBODOAUX, LA.  
PHONE: (985) 489-5338

**APPROVALS:**  
ST. JAMES PARISH COUNCIL  
CHAIRMAN \_\_\_\_\_ DATE: \_\_\_\_\_  
PARRISH PRESIDENT \_\_\_\_\_ DATE: \_\_\_\_\_

**SURVEY SHOWING**  
DIVISION OF LOT B  
TO CREATE LOT B-1 & LOT B-2  
LOCATED IN SECTION 13, T13S-R17E  
ST. JAMES PARISH, LOUISIANA  
JANUARY 10, 2019



19-04

Zen-Noh Grain Corporation  
8886 LA HWY 44  
Convent, LA 70723  
225.562-3571

February 13, 2019

St. James Parish Government  
Planning Commission  
P.O. Box 106  
Convent, LA 70723  
Attn.: Permit Department  
Eric Wolverton

RE: Zen-Noh Grain Corporation – Control Room Upgrade  
Base Flood Elevation Variance

Dear Sir/Madam:

Zen-Noh Grain Corp. is requesting a variance on the base flood elevation certificate. The variance is needed for the proposed expansion of the existing control room on the batture which is functionally dependent to our operations. The expansion consist of a new building for the USDA and remodeling our existing control room.

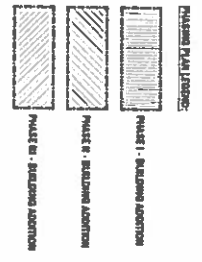
Attached are reference drawings for the control room. A001, A100, A200 & S1.00

Please do not hesitate to let me know if you require any additional information to process this request for a water quality certification.

Thank you for your consideration.

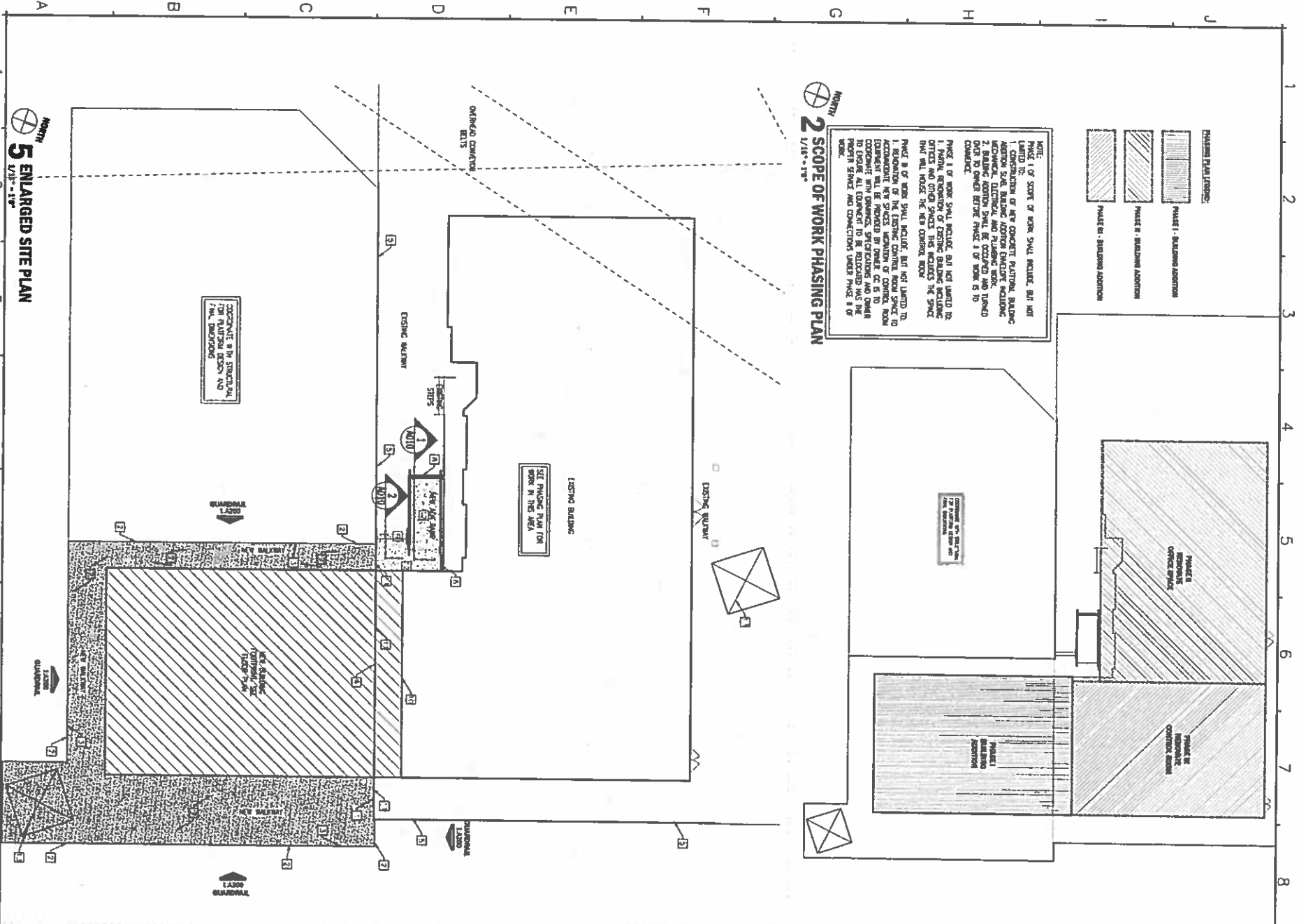
Sincerely,

Melvin LeBlanc, Sr. Project Manager

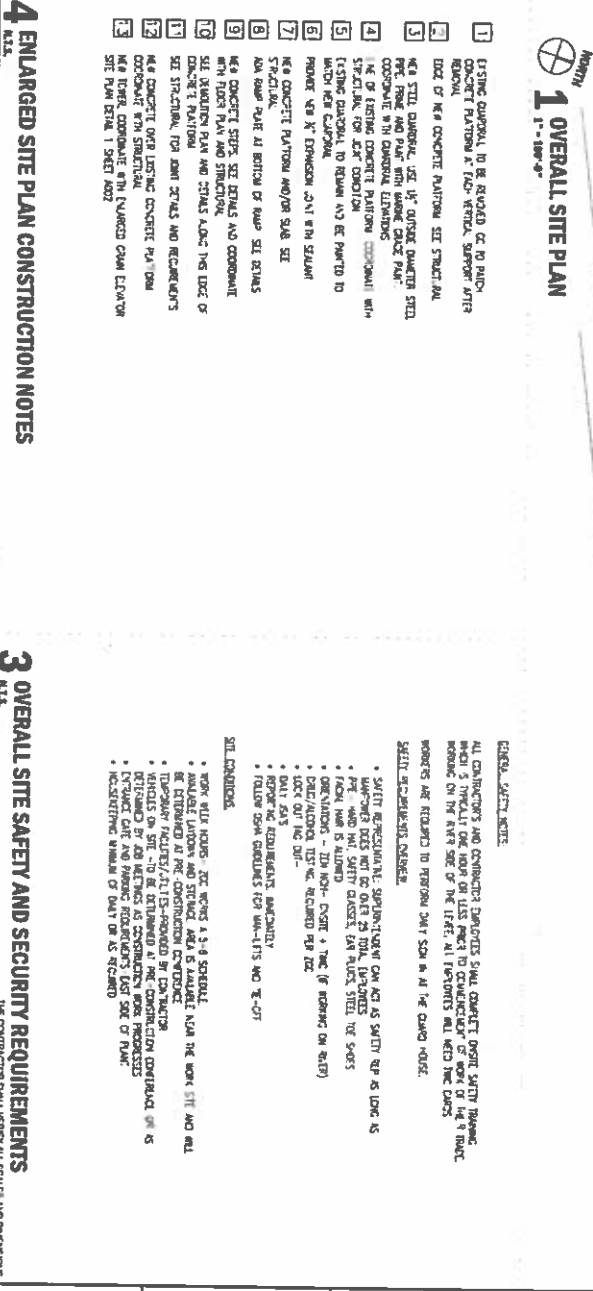
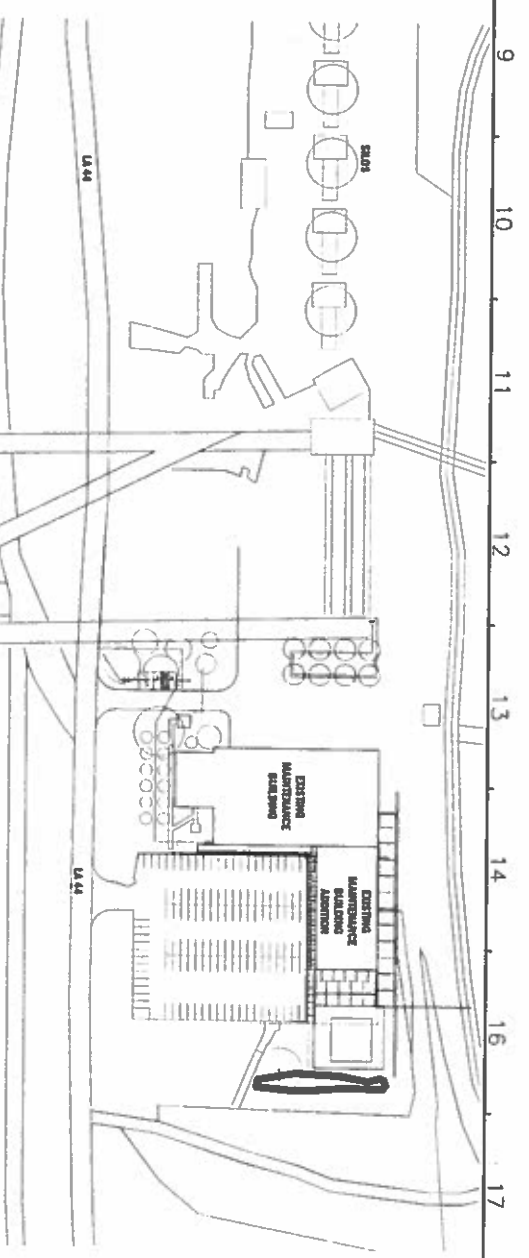


**NOTE:** 1. SCOPE OF WORK SHALL INCLUDE, BUT NOT BE LIMITED TO:  
 1. CONSTRUCTION OF NEW CONCRETE PATIOL, BUILDING ADDITION, EXISTING BUILDING RENOVATION, ELECTRICAL AND PLUMBING WORK, MECHANICAL WORK, AND OTHER WORK AS SHOWN ON THIS PLAN.  
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.  
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS.  
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.  
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS.

**2 SCOPE OF WORK PHASING PLAN**  
 1/16" = 1' = 1/8" = 1/16"



**5 ENLARGED SITE PLAN**  
 1/16" = 1' = 1/8" = 1/16"



**1 OVERALL SITE PLAN**  
 1" = 100' = 1/8" = 1/16"

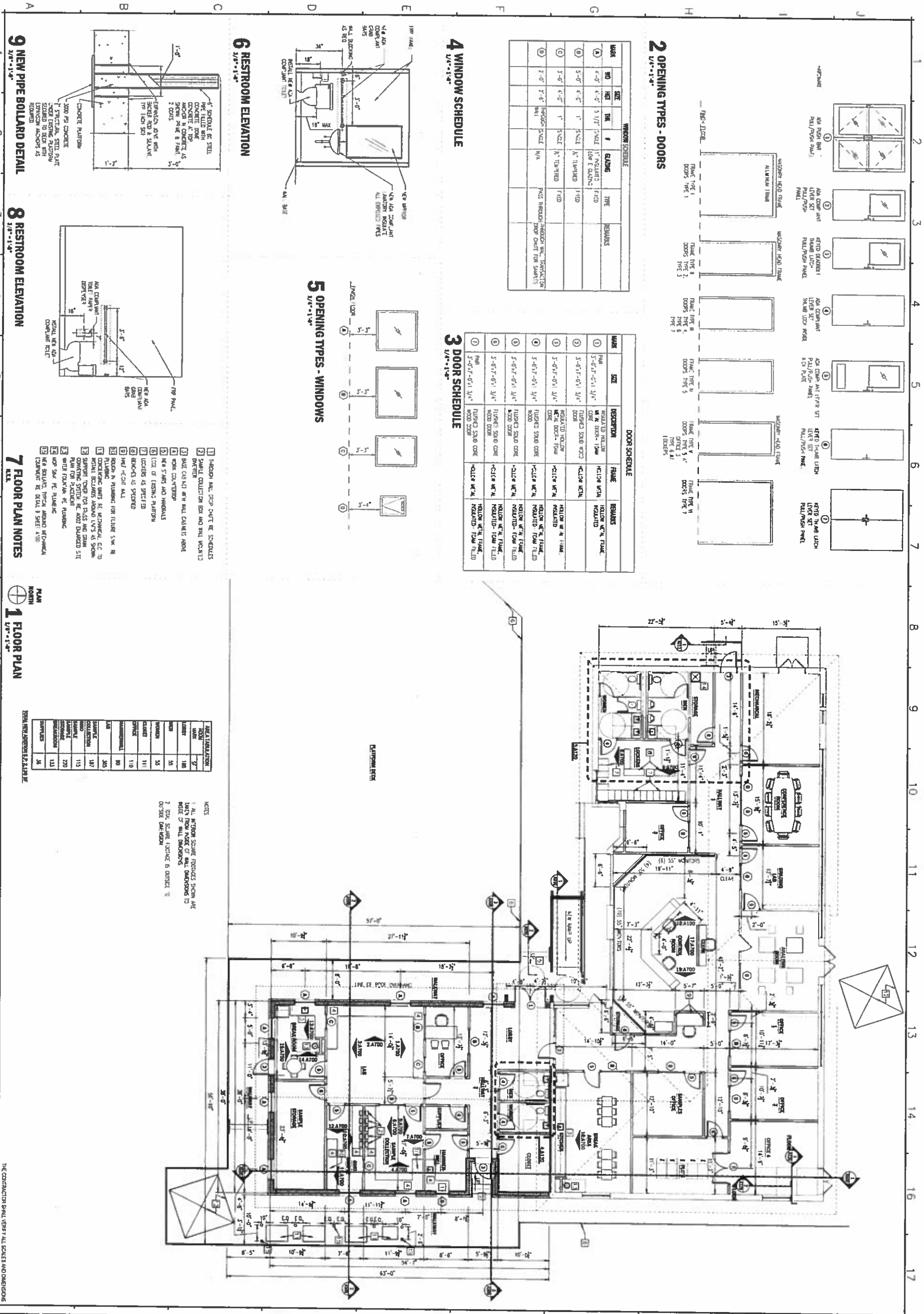
- EXISTING GUARDRAIL TO BE REMOVED AND TO BE REPLACED WITH CONCRETE PATIOL AT FLOOR LEVEL. VERTICAL SUPPORT AFTER DECK OR NEW CONCRETE PATIOL. SEE STRUCTURAL DRAWING FOR DETAILS.
- NEW STEEL COLUMN, USE 1/2" GUSSET PLATE STEEL PER PLAN AND PLAN WITH WELDED GUSSET PLATE CONNECTIONS TO EXISTING CONCRETE PATIOL.
- EXISTING GUARDRAIL TO REMAIN AND BE PARTIAL TO MATCH EXISTING GUARDRAIL.
- NEW CONCRETE PATIOL AND/OR SIDE SEE STRUCTURAL DRAWING FOR DETAILS.
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- NEW CONCRETE PATIOL AND/OR SIDE SEE STRUCTURAL DRAWING FOR DETAILS.

- GENERAL SAFETY NOTES:**
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLETE OSHA SAFETY TRAINING AND BE CERTIFIED AS COMPETENT TO SUPERVISE THE WORK OF THE TRADE WORKERS ON THE SITE. ALL TRADEWORKERS SHALL BE TRAINED AND CERTIFIED TO PERFORM THE WORK SHOWN ON THIS PLAN.
  - SAFETY ZONES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
  - SAFETY BARRIERS SHALL BE INSTALLED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
  - SAFETY EQUIPMENT SHALL BE MAINTAINED AND REPAIRED AS NEEDED.
  - SAFETY ZONES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
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  - SAFETY EQUIPMENT SHALL BE MAINTAINED AND REPAIRED AS NEEDED.

**4 ENLARGED SITE PLAN CONSTRUCTION NOTES**  
 ALL

**3 OVERALL SITE SAFETY AND SECURITY REQUIREMENTS**  
 ALL

SHEET <b>A001</b>	JOB NUMBER <b>15-116</b>	<b>ZEN - NOH GRAIN CORPORATION</b> <b>CONTROL STATION ADDITIONS AND RENOVATIONS</b> <b>LOUISIANA 44</b> <b>CONVENT, LOUISIANA 70723</b>			<b>Watts Didier Architects, LLC</b> Architects • Planners • Consultants 7464 Exchange Place, Suite 201 Baton Rouge, Louisiana 70806	DATE <b>NOVEMBER 30, 2018</b>
	SET NUMBER					REVISIONS



DATE **NOVEMBER 30, 2018**  
 REVISIONS

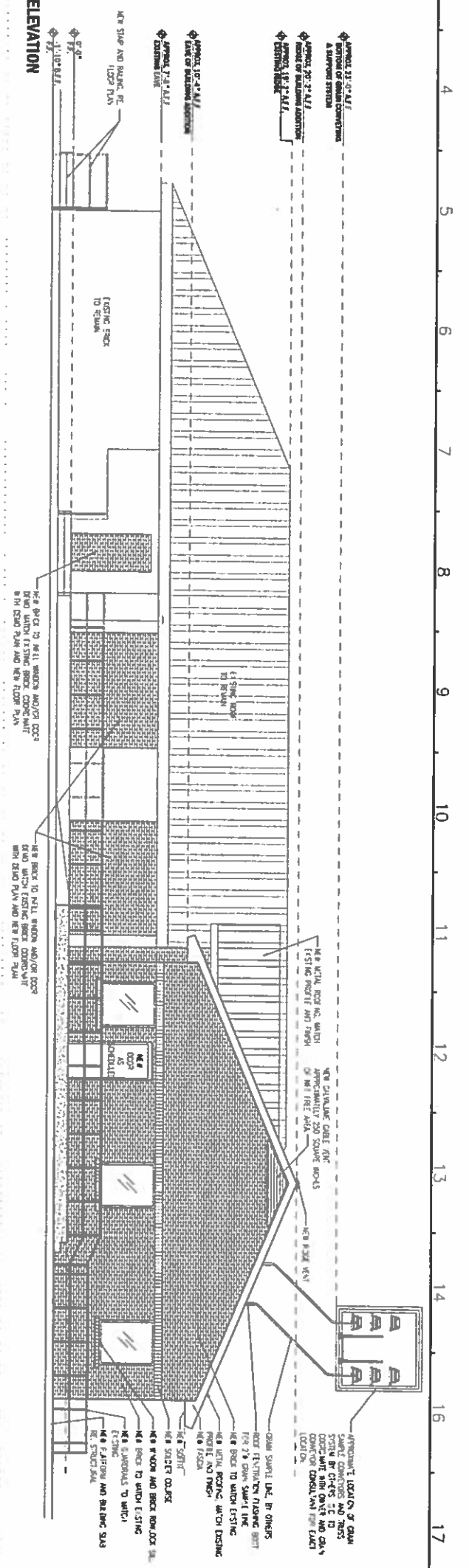
**Watts Didier Architects, LLC**  
 Architects • Planners • Consultants  
 7464 Exchange Place, Suite 201 Baton Rouge, Louisiana 70806



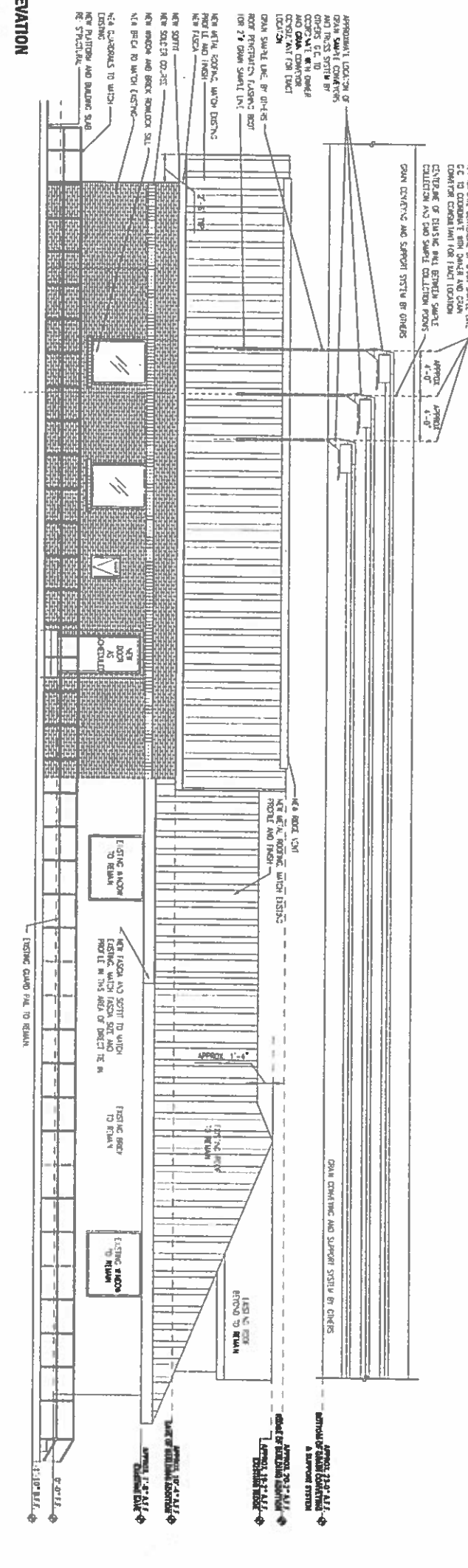
**ZEN - NOH GRAIN CORPORATION**  
**CONTROL STATION ADDITIONS AND RENOVATIONS**  
 LOUISIANA 44  
 CONVENT, LOUISIANA 70723

JOB NUMBER **15-116**  
 SHEET **A100**

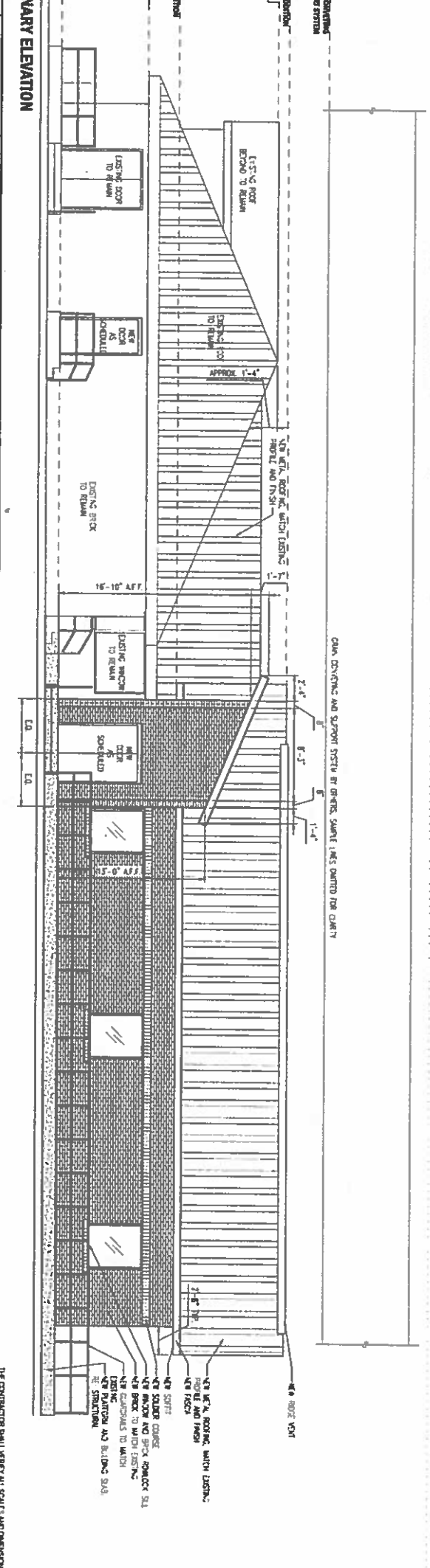
**1 NORTH ELEVATION**  
3/18'-1'-0"



**2 EAST ELEVATION**  
3/18'-1'-0"



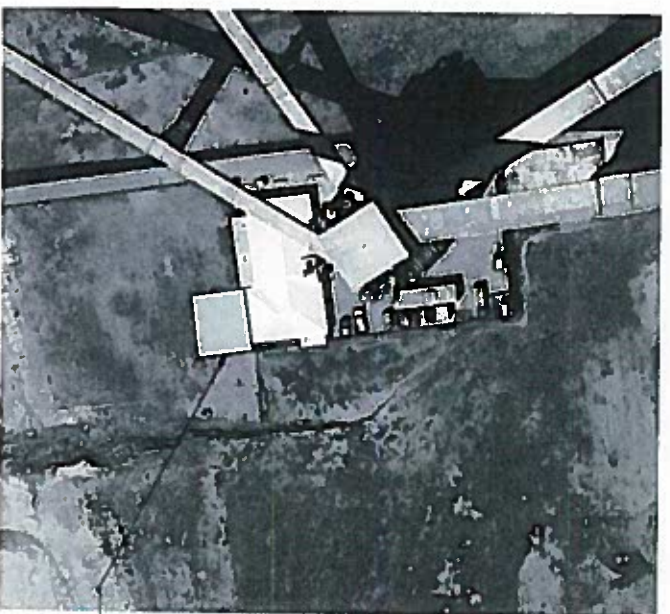
**3 PRELIMINARY ELEVATION**  
3/18'-1'-0"



A B C D E F G H I J

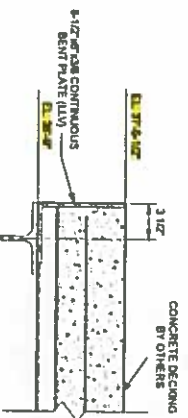
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

SHEET <b>A200</b>	JOB NUMBER 15-116	<b>ZEN - NOH GRAIN CORPORATION</b> <b>CONTROL STATION ADDITIONS AND RENOVATIONS</b> LOUISIANA 44 CONVENT, LOUISIANA 70723			<b>Watts Didier Architects, LLC</b> Architects • Planners • Consultants 7464 Exchange Place, Suite 201 Baton Rouge, Louisiana 70806	DATE <b>NOVEMBER 30, 2018</b>
	SET NUMBER					REVISIONS

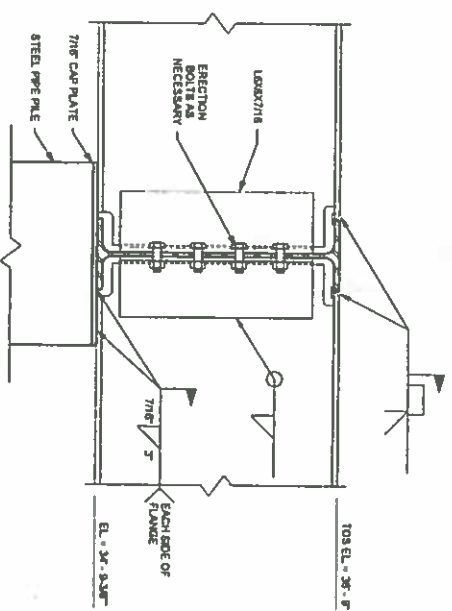


EXPANSION TO BE INSTALLED IN SHADDED AREA

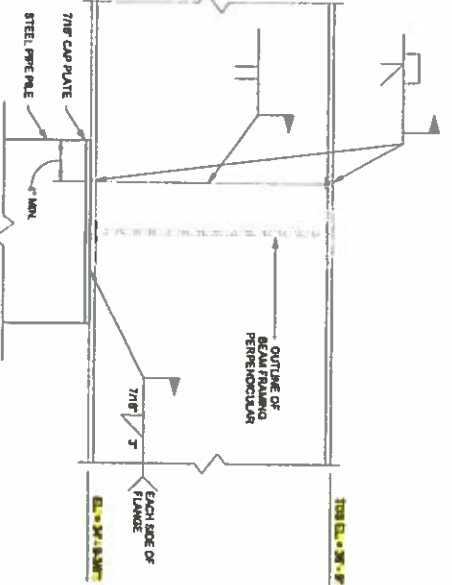
**SITE PLAN - SATELLITE**  
1/16" = 1' = 0"



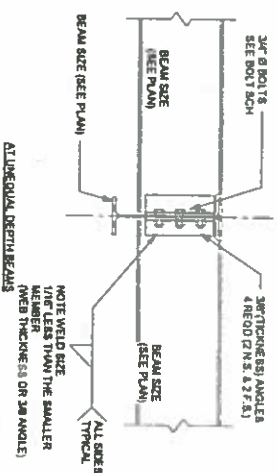
**SECTION AT DECK EDGE**  
1/16" = 1' = 0"



**FIXED CONNECTION DETAIL OVER PIPE PILE**



**SPLICE DETAIL OVER PIPE PILE**



**TYPICAL W/F BEAM TO W/F BEAM SHEAR CONNECTION**

**EXISTING CONSTRUCTION NOTES:**

1. STRUCTURAL PLANS FOR THE EXISTING BUILDING WERE FORWARDED TO THE ENGINEER AND THE EXISTING STRUCTURAL FRAMING AND FOUNDATION DETAILS SHOWN ON THE EXISTING STRUCTURAL PLANS WERE USED IN THE PREPARATION OF THE NEW STRUCTURAL PLANS.
2. THE EXISTING STRUCTURAL FRAMING AND DETAILS HAVE NOT BEEN CHECKED TO DETERMINE IF THEY ARE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC SPECIFICATION. THE ENGINEER HAS ASSUMED THAT THE EXISTING STRUCTURAL FRAMING AND FOUNDATION ARE STRUCTURALLY SOUND AND CAPABLE OF CARRYING THE APPROPRIATE LOADS APPLIED TO THEM. IF THE EXISTING STRUCTURAL FRAMING AND FOUNDATION ARE FOUND TO BE DEFICIENT, THE CONTRACTOR SHALL STOP CONSTRUCTION, SECURE THE STRUCTURE TO THE POINT AND NOTIFY THE ARCHITECT.
3. THE EXISTING BUILDING HAS NOT BEEN CHECKED TO DETERMINE IF THE STRUCTURAL FRAMING IS AS SHOWN ON THE EXISTING STRUCTURAL PLANS.
4. WHEN THE ENGINEER HAS SHOWN LOCATION OF THE EXISTING STRUCTURAL FRAMING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND ELEVATION OF THE EXISTING STRUCTURAL FRAMING AND FOUNDATION ARE AS SHOWN ON THE EXISTING STRUCTURAL PLANS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF OTHER CONDITIONS ARE NOTED DURING DEMOLITION.
5. CONTRACTOR SHALL VERIFY ELEVATION OF THE EXISTING STRUCTURE. IT IS THE INTENT OF THE DESIGN TO ALIGN WITH THE EXISTING DECK ELEVATION AND ELEVATIONS SHOWN ON THE SE DRAWINGS AS BASED ON THE ORIGINAL CONSTRUCTION DOCUMENTS.

**STRUCTURAL STEEL NOTES:**

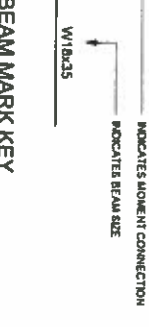
1. STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE AISC SPECIFICATION.
2. STEEL JOISTS SHALL CONFORM TO THE LATEST EDITION OF THE AISC SPECIFICATION.
3. WELDING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS CODE.
4. ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING AISC SPECIFICATIONS:
  - 1. CHANNEL, L-ANGLE, TEE, L-PLATE, PLATE GIRD, SHAPES, ASTM A992, GRADE 50
  - 2. TUBE STEEL, ASTM A500, GRADE B
  - 3. PIPE, ASTM A53, GRADE B
5. VERIFY ALL DIMENSIONS, SIZES AND CONDITIONS PRIOR TO THE PREPARATION OF SHOP DRAWINGS OR FABRICATION OF STEEL.
6. ALL WELDS SHALL BE MADE WITH ETP ELECTRODES UNLESS NOTED OTHERWISE.
7. CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF ALL OPENINGS. SEE TYPICAL ROOF OPENING DETAIL FOR REQUIRED FRAMING.
8. ANY STRUCTURAL STEEL ITEMS CALLED FOR IN THE CONSTRUCTION DOCUMENTS, OTHER THAN ON THE STRUCTURAL DRAWINGS, SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
9. ANY STRUCTURAL STEEL, REQUIRED BY THE ELEVATOR SUB-CONTRACTOR NOT SHOWN ON THE SE DRAWINGS SHALL BE PROVIDED BY THE ELEVATOR SUB-CONTRACTOR. THE FRAME OF THIS STRUCTURAL STEEL SHALL BE INCLUDED IN THE CONTRACTOR'S BID.

**SOIL AND FOUNDATION NOTES:**

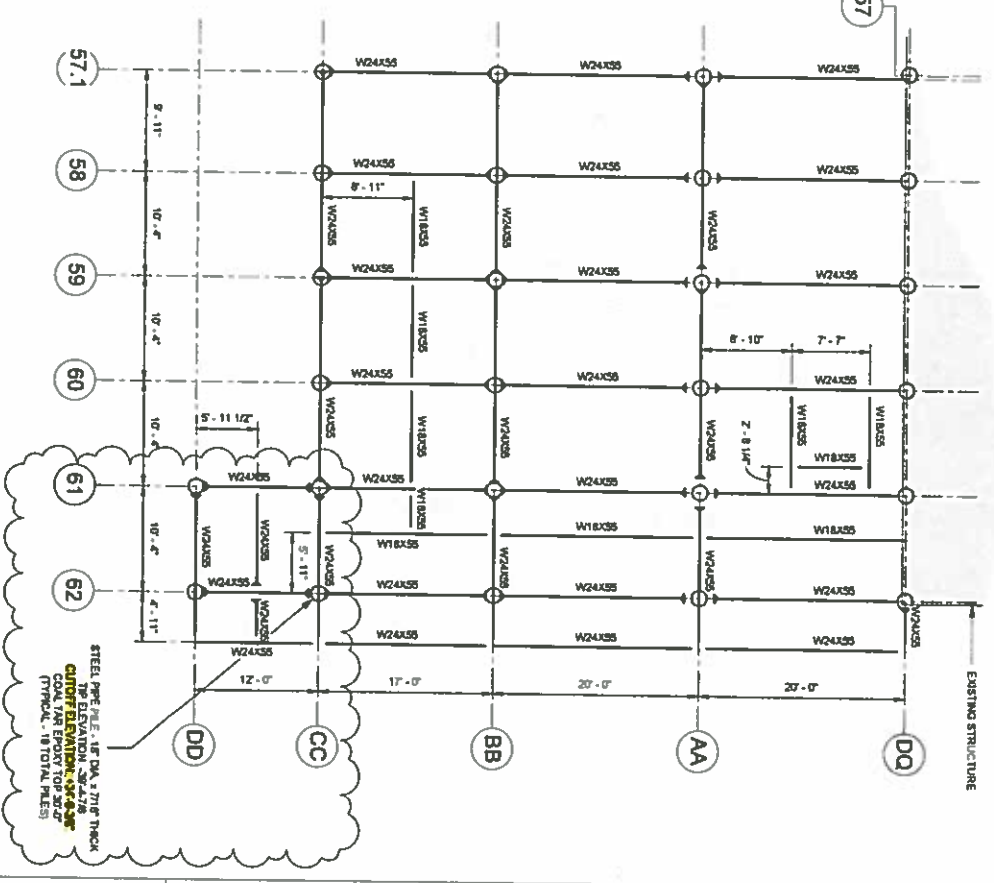
1. THIS FOUNDATION DESIGN WAS BASED ON AND IS RELIANT UPON THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT AS PREPARED BY TERRACON ENGINEERING LLC, BATON ROUGE, LA, REPORT NO. EHS18017 DATED DECEMBER 4, 2018.
2. STRICT ADHERENCE TO THIS PLAN AND GEOTECHNICAL REPORT RECOMMENDATIONS IS REQUIRED. A COPY OF THIS REPORT IS AVAILABLE AT THE ARCHITECT'S OFFICE FOR REVIEW.

**SUPERIMPOSED DESIGN LOADS:**

1. DEADLOADS
2. FRICTION LOADS
3. FLOOR ALL SPACES = 100 PSF + 20 PSF PARTITION
4. ROOF = 20 PSF
5. WIND LOADS
6. VELOCITY = 143 MPH
7. BUILDING CATEGORY = B
8. EXPOSURE = C
9. ANALYSIS PROCEDURE = ASCE 1.10B-C 2012
10. DESIGN WIND SPEED = 115.1 PSF
11. DESIGN WIND VELOCITY = 11.5 FT/SEC
12. BAYRAM RIVER VELOCITY = 11.5 FT/SEC
13. WIND PRESSURE COEFFICIENT = 0.20 PUF



**DECK FRAMING PLAN**  
1/16" = 1' = 0"



<p>15-116</p> <p><b>S1.00</b></p>	<p><b>ZEN-NOH GRAIN CORPORATION</b>  <b>CONTROL STATION ADDITIONS AND RENOVATIONS</b>          LOUISIANA 44          CONVENT, LOUISIANA 70723</p>		<p><b>Watts Didier Architects, LLC</b>          Architects • Planners • Consultants          7464 Exchange Place, Suite 201 Baton Rouge, Louisiana 70806</p>	<p>JANUARY 29, 2018</p>
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